



City of Santa Barbara
Community Development Department

SantaBarbaraCA.gov

Building & Safety Division
Notice of Violation

Director's Office
Tel: (805) 564-5502
Fax: (805) 564-5477

Administration, Housing & Human Services
Tel: (805) 564-5461
Fax: (805) 564-5477

Building & Safety
Tel: (805) 564-5485
Fax: (805) 564-5476

Planning
Tel: (805) 564-5470
Fax: (805) 564-5477

Rental Housing Mediation Program
Tel: (805) 564-5420
Fax: (805) 564-5477

630 Garden Street
PO Box 1990
Santa Barbara, CA
93102-1990

January 9, 2017

Mary Ellen Broeffle
947 Carrillo Rd.
Santa Barbara, CA 93103

APN: 029-262-011
Case Number: ENF2016-01798

Subject Property: 947 Carrillo Rd. Santa Barbara, CA 93103

Dear Mary Ellen Broeffle:

Due to a recent concern filed with the Building & Safety Division, an inspection at the Subject Property was performed on December 22, 2016. As a result of our investigation, we have found the Property to be in violation of Santa Barbara Municipal Code Section 22.04.010 as follows:

VIOLATION: The following construction has taken place without approvals or permits:
The use of the basement has been changed to a dwelling unit with the addition of a kitchen area, living room, two bedrooms and a bathroom. One of the bedrooms has a noncompliant ceiling height, the kitchen has underfloor plumbing from above interfering with the required ceiling height.
Two structures are under construction in the rear yard.
The upper and lower floors do not communicate through the interior creating a duplex use of this single family dwelling.
The windows have been replaced throughout the structure.

CODE SECTION: 2016 California Residential Code, Section R105.1 PERMITS
Any owner, or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit

REMEDY: A building permit will be required to either demolish or permit any of the construction listed above. Bring this Notice to the Building Permit Counter at 630 Garden Street and ask for an explanation of the plan submittal that will be required for permit application and issuance. Be aware that permit issuance must be obtained by the dates prescribed in this Notice. If permits are not obtained within the prescribed time frames, you will be ordered to obtain a demolition permit immediately.

The Building Official has determined that the violations on the Property must be abated in an expeditious manner.

- A permit must be obtained and work commenced within 60 days of the date of this Notice of Violation.
- Work must be completed and all violations abated within 30 days of the date of permit issuance.

If either of these dates are not met, further legal action may be necessary.

This Notice of Violation identifies the concerns of the Building and Safety Division of the City of Santa Barbara. Other departments or divisions of this City and other governmental agencies may have additional concerns or requirements.

Tax Implications
Pursuant to California Revenue and Taxation Code sections 17274 and 24436.5, the City may forward information regarding you and any other owners of the above-referenced property to the State Franchise Tax Board for violations of State and City laws related to health, safety, and building if the above listed property constitutes substandard housing. This action will prevent you, any other owners, or subsequent owners from deducting interest, taxes, depreciation, or amortization for the above-referenced property on state income taxes. In order to prevent this, you must immediately comply with all State and City laws to abate all violations.

Appeal Rights
Any party aggrieved by this decision of the City's Chief Building Official including but not limited to decisions or determinations made relative to the application and interpretations of the technical codes, and the refusal, suspension, voiding, or revocation of a license or permit, may appeal such decision to the Building and Fire Code Board of Appeals by obtaining an appeal form on the internet at <http://www.santabarbaraca.gov/services/planning/forms/building.asp> or from the City Building & Safety office. You are required to submit the appeal form within twenty (20) days from the date of this notice in order for your appeal to be heard by the Building and Fire Code Board of Appeals. The completed appeal form must be delivered to the City's Building & Safety office located at 630 Garden St., Santa Barbara, CA 93101.

For information regarding the appeals process, please refer to Santa Barbara Municipal Code Section 22.04.020 or contact the Community Development Department at (805) 564-5502. For information on Building and Fire Code Board of Appeals please visit the following website <http://www.santabarbaraca.gov/brcdcomm/ac/bfcb/default.asp>

Tenant Relocation Required (Residential Uses Only)
Only when the above box is checked, pursuant to Health and Safety Code section 17975.1, you are hereby notified as the owner of the subject property that any tenant on the subject property who is displaced or subject to displacement from a residential rental unit at the subject property as a result of this order requiring the vacation of a residential unit by the City of Santa Barbara Building & Safety Department as a result of the violation(s) noted above being so extensive and of such a nature that the immediate health and safety of the residents is endangered, that the tenant(s) shall be entitled to receive relocation benefits from you, the property owner.

Pursuant to Health and Safety Code section 17975.1, the relocation benefits shall be paid by you, the owner or designated agent, to the tenant within 10 days after the date of this notice to vacate which has been posted on the premises, or at least 20 days prior to the vacation date set forth in this notice to vacate, whichever occurs later. If there are fewer than 10 days between the date of this notice to vacate and the vacation date, the relocation benefits shall be paid by you, the owner or designated agent, to the tenant within 24 hours of the date of this notice.

This notice has also been given to the tenant in possession of the property. You cannot retaliate against the tenant pursuant to Civil Code section 1942.5. The relocation payment shall be made available by you, the owner or designated agent, to the tenant pursuant to Health and Safety Code section 17975.2.

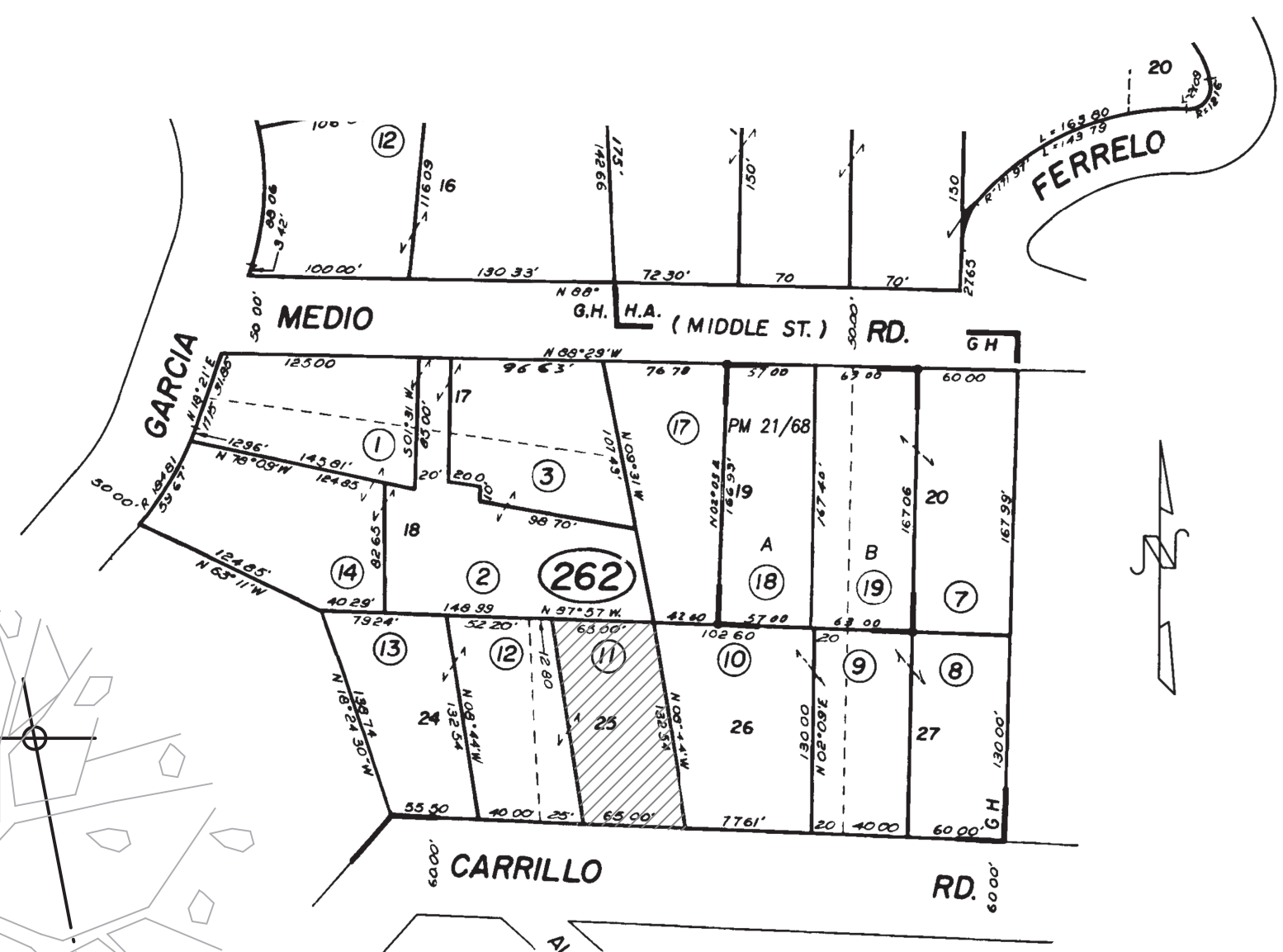
Contact information
My direct office phone number is (805) 897-2604. Our offices are closed every other Friday please call 564-5485 to find out the Friday we will be closed. Inspector office hours are 7:30-8:30 a.m. and 3:00-4:00 p.m. Monday through Friday except for Thursday afternoon and our "off" Friday. You may also contact our office for plan submittal and permit issuance requirements at (805) 564-5485 between the hours of 7:30 and 4:30 p.m., Monday through Friday. The Community Development public counters are located at 630 Garden Street. Additional information is available online at www.SantaBarbaraCa.gov

Your prompt attention to this matter is appreciated.
Sincerely, *Lauren Anderson*

Lauren Anderson, Building Inspector

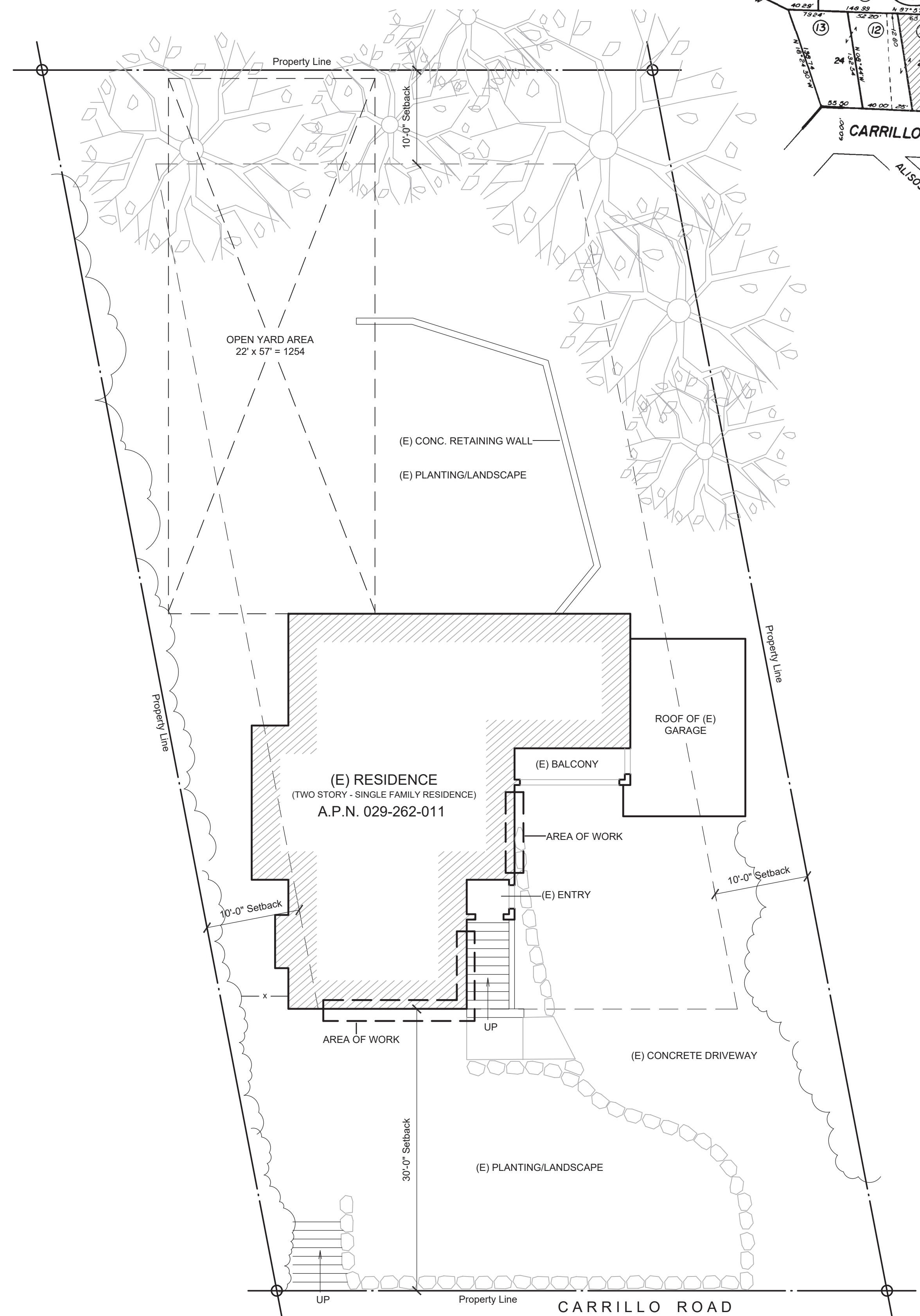
Attachment: Field Investigation Images

Cc: File



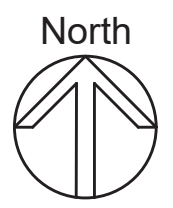
Site Plan

Not To Scale



SITE PLAN - 947 CARRILLO ROAD, SANTA BARBARA

1/8" = 1'-0"



PROJECT DATA / BUILDING ANALYSIS

PROJECT ADDRESS: 947 CARRILLO ROAD, SANTA BARBARA, CA

A.P.N.: 029-262-011
Address: 947 Carrillo Road, Santa Barbara, Ca. 93103
Owner: Mary Ellen Broeffle
Zone: RS-15 (Title 30 Zoning - Inland)
Lot Size: 0.19 Acres (8472.72 sq. ft.)
General Plan Neighborhood: Lower Riviera
Type of Construction: V-N
Occupancy: Single Family Residence
High Fire: No
FEMA Floodway: X
Parking: 1-Car Attached Garage
Slope: 32%
Special Design District: Hillside Design District

This project shall comply with:
California Residential Code 2022 Edition
California Mechanical Code 2022 Edition
California Plumbing Code 2022 Edition
California Electrical Code 2022 Edition
California Fire Code 2022 Edition
California Energy Code 2022 Edition
California Green Building Code 2022 Edition

All amendments as adopted in Santa Barbara City Ordinances (NZO) Title 30 and 5919.

CAL GREEN CODE:
Construction Waste Management requirements of CRC R324.1 will be met. Recycle and/or salvage for reuse of minimum of 65% of the non-hazardous construction and demolition waste in accordance with CGBC Chapter 4, Division 4.4 (Cal Green Code)

Finish materials including adhesives, sealants, caulks, paints and coatings, aerosol paints and coatings shall meet the volatile organic compound (VOC) emission limits in accordance with CGBC Chapter 4, Division 4.5 (Cal Green Code)

NOTE: THIS PROJECT COMPLIES WITH THE MANDATORY CONSERVATION REQUIREMENTS UNDER THE 2022 CALIFORNIA ENERGY CODES.

A MINIMUM OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE PER SECTION 4.408.1 AND CITY ORDINANCE. MARBORG INDUSTRIES TO PROVIDE WASTE AND RECYCLE REMOVAL.

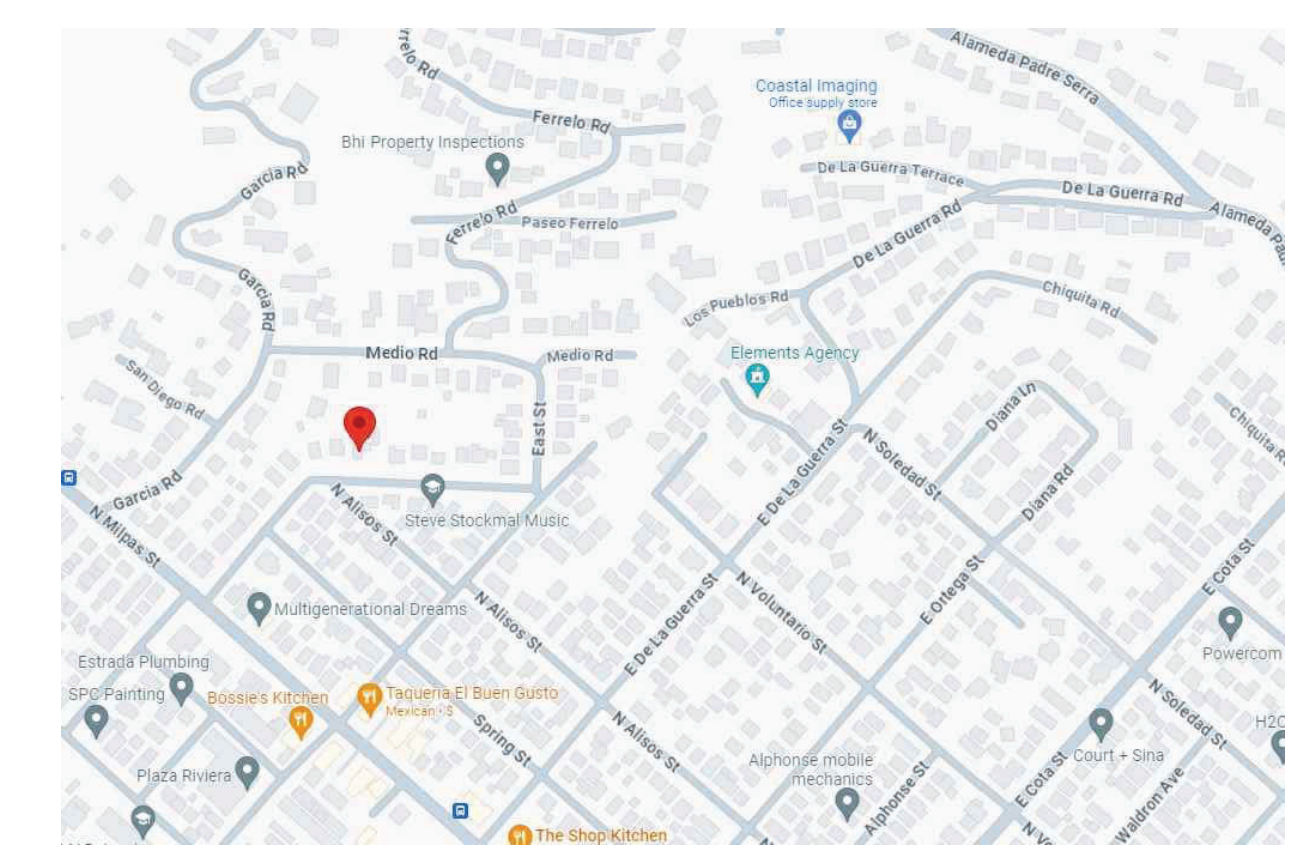
NOTE: NO SPRINKLERS EXIST OR ARE REQUIRED IN RESIDENCE.

SCOPE OF WORK

- ABATEMENT - ENFORCEMENT 2016-01798**
- VIOLATION:** The following construction has taken place with approvals or permits.
VIOLATION: The use of the basement has been changed to a dwelling unit with the addition of a kitchen area, living room, two bedrooms and a bathroom. One of the bedrooms has a noncompliant ceiling height, the kitchen has underfloor plumbing from above interfering with the required ceiling height.
ABATEMENT: Kitchen and underfloor plumbing has been removed. (2) Bedrooms and Laundry. Infill interior door to (E) Garage. Reconfigure plumbing fixtures and add sink to (E) Toilet/Shower area. 45 sq. ft.
VIOLATION: Two structures are under construction in the rear yard.
ABATEMENT: Removed. BLD2023-02305
VIOLATION: The upper and lower floors do not communicate through the interior crating a duplex use of this single family dwelling.
ABATEMENT: Interior stairway connects upper and lower level.
VIOLATION: The windows have been replaced throughout the structure.
ABATEMENT: SFDB - Admin. or Consent Level - Approval of window change out. (6) Total.

LIST OF DRAWINGS

- ARCHITECTURAL**
- A1.0 Project Statistics, Vicinity Map, Notice of Violation, Site Plan and Notes
 - G1 Residential Mandatory Measures
 - G2 Residential Mandatory Measures
 - A1.1 Site Photos
 - A1.2 Existing/Demolition and Proposed Floor Plans



VICINITY MAP

Revisions:	Date:

Owner:
Mary Ellen Broeffle
947 Carrillo Road
Santa Barbara, CA 93103
Tel.: 805-218-2938
Email: lajepirana@aol.com

Permitting and Drafting:
Amy Von Protz
217 San Napoli Drive
Goleta, Ca. 93117
Tel: 805-722-0381
Email: h2owill7@netscape.net

Contractor:
T.B.D

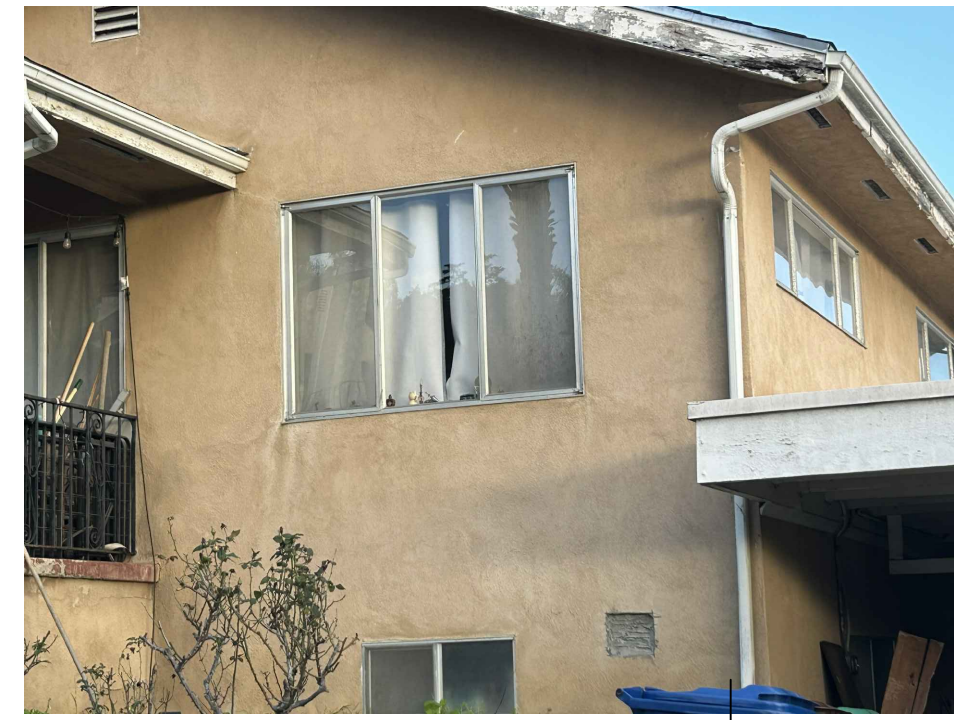
ABATEMENT OF ENFORCEMENT - ENF2016-01798

Mary Ellen Broeffle
947 Carrillo Road
Santa Barbara, CA 93103
Tel.: 805-218-2938
Email: lajepirana@aol.com

Date:	-
Scale:	As Noted
Job:	Broeffle

Sheet No.

A1.0



WINDOW TYPES - ADJACENT HOMES - WIDE RANGE OF MATERIALS



STREET VIEW - CARRILLO ROAD - FROM ADJACENT NEIGHBOR



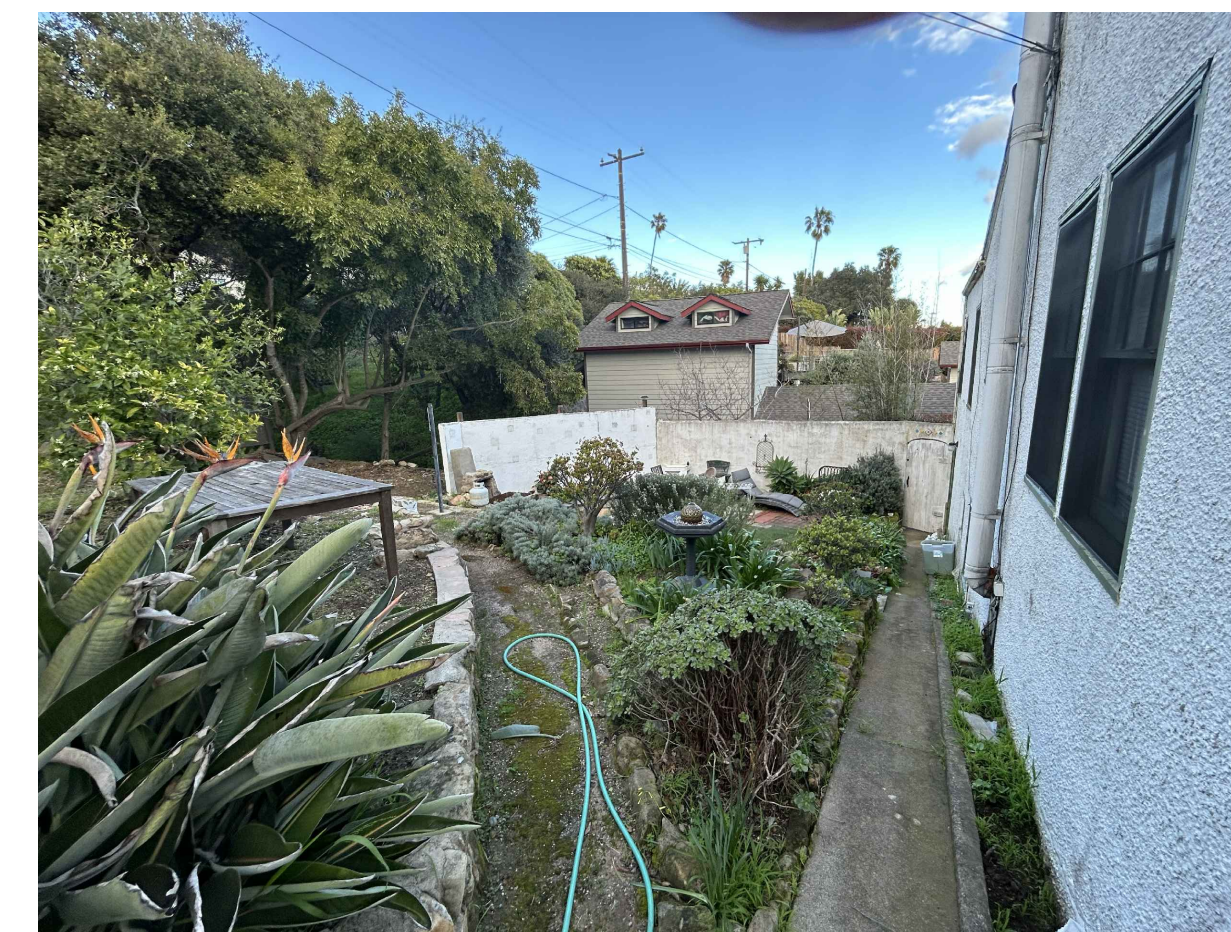
STREET VIEW - CARRILLO ROAD - FROM ADJACENT NEIGHBOR



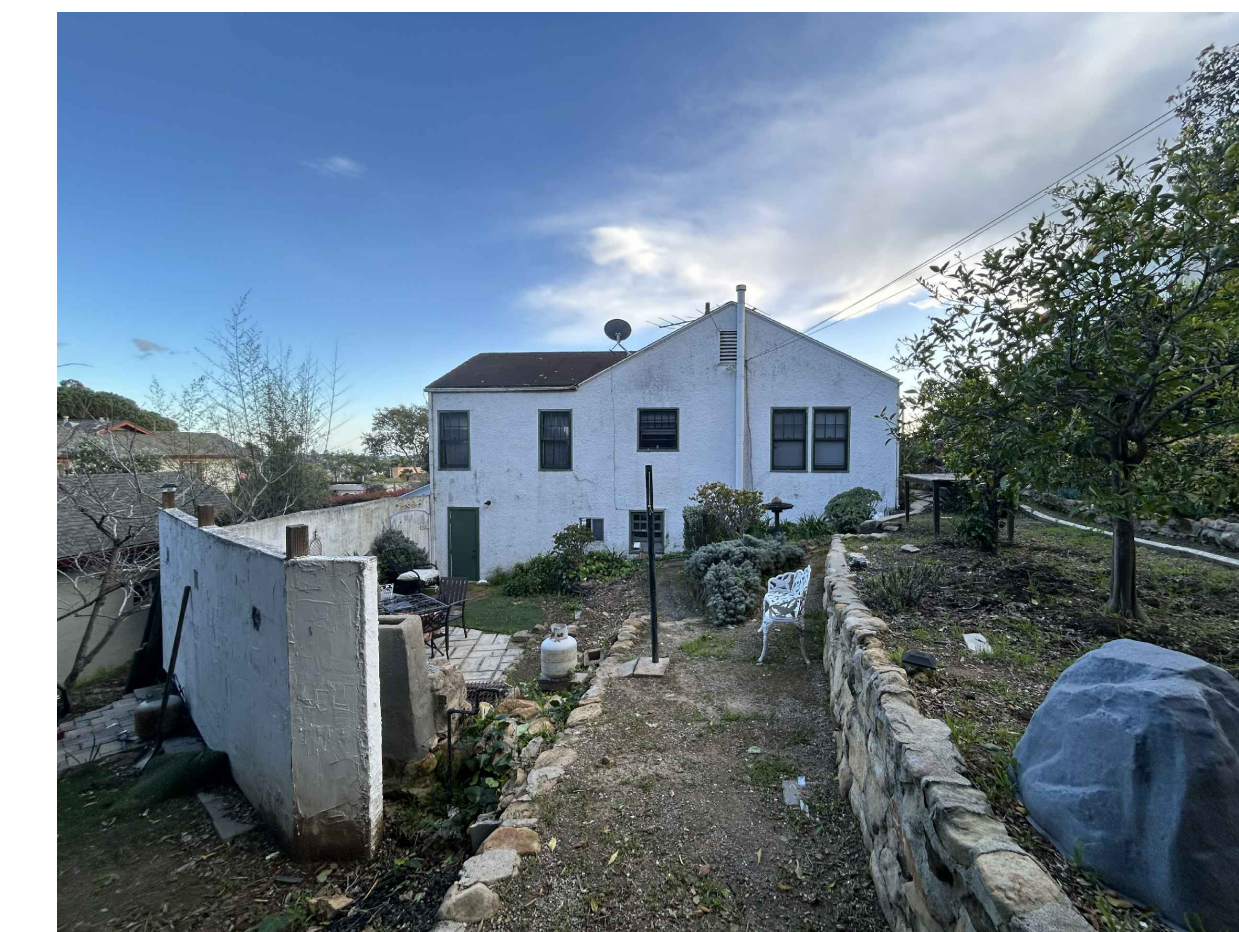
STREET VIEW - CARRILLO ROAD



STREET VIEW - LOCATION OF VIYNL WINDOWS



REAR OF PROPERTY - LOOKING TOWARDS ADJACENT NEIGHBOR



REAR OF PROPERTY

Revisions:	Date:

Owner:
 Mary Ellen Broeffle
 947 Carrillo Road
 Santa Barbara, CA 93103
 Tel.: 805-218-2938
 Email: ladepirana@aol.com

Permitting and Drafting:
 Amy Von Protz
 217 San Napoli Drive
 Goleta, Ca. 93117
 Tel: 805-722-0381
 Email: h2owill7@netscape.net

Contractor:
 T.B.D

ABATEMENT OF ENFORCEMENT - ENF2016-01798

Mary Ellen Broeffle
 947 Carrillo Road
 Santa Barbara, CA 93103
 Tel.: 805-218-2938
 Email: ladepirana@aol.com

Date:	-
Scale:	As Noted
Job:	Broeffle

Sheet No.
A1.1

ELECTRICAL NOTES

- All installed lighting must be high efficacy per table 150.0-A, 2022 California Energy Code Table 150.0
- Lighting in Bathrooms: All lighting shall be high efficacy and at least one fixture in each bathroom shall be controlled by a vacancy sensor. 2022 California Energy Code 150(k) 5
- Lighting in Garages, Laundry Rooms, closets and Utility Rooms: All lighting shall be high efficacy and at least one light fixture installed in Garages, Closets, Laundry Rooms and Utility rooms shall be controlled by a vacancy sensor. 2022 California Energy Code 150(k)2.J
- Recessed Luminaires in Insulated Ceilings: Luminaires recessed into insulated ceilings shall not contain screw base sockets and shall be approved for zero clearance insulation cover (IC) by U.L. or other testing lab recognized by Building Official, and shall be certified air tight to show air leakage less than 2.0 CFM at 0.11 psi in accordance with ASTM E283, and sealed with a gasket or caulk between housing and ceiling. 2022 California Energy Code 150(k)
- Screw Based Sockets: Luminaires with screw based sockets shall meet the following requirements:
The luminaires shall not be a recessed down-light in a ceiling; and
The luminaires shall contain lams that comply with Reference Joint Appendix JA8; and
The installed lamps shall be marked with "JA8-2016" or "JA8-2016-E" as specified in Reference Joint Appendix JA8.
- Dimmers or vacancy sensors shall control all luminaires required to have light sources compliant with Reference Joint Appendix JA8.
- Bathroom Exhaust Vent - ASHRAE 62.2
- Fan to deliver ventilation airflow at 50 or more cfm for each bathroom.
- Ceiling mounted intermittent local ventilation fans to have a sound rating of three sones or less at the required airflow rate.
- Vent fans must be wited separately from lighting. 2022 California Energy Code 150(k)2B
- Light fixtures within a shower or bathtub area shall be recessed and rated for wet locations.
Light fixture - Iris Shower/Lensed Element: Dropped 5.25 Aperture 5/32T Luna Platform 15-3/4"L x 10"W x 9" H
Max Lamp 32 Ptt, TTT or TBX or equal.
- All 125-volt, 15 and 20 ampere receptacles in a dwelling unit shall be listed tamper-resistant receptacles.
- Overcurrent devices shall not be located in closets or bathrooms.
- Tamper resistant outlets shall be provided in all remodeled and new areas.
- Bathroom receptacle and laundry receptacle outlets shall be supplied by at least one 20-ampere, dedicated branch circuit. Such circuits shall have no other outlets (CEC 210.11(C)(3)) Bathroom basin receptacle outlet shall be installed within 36" of the outside edge of the basin (CEC 210.52(D)) Receptacle outlets shall not be installed in a face-up position in the counter-tops or work area in a bathroom basin location. (CEC 210.52(D))
- Ground fault circuit interrupter (GFCI) protection shall be provided for all receptacles that serve bathrooms, kitchen countertop work areas, garages, exterior locations, utility rooms and wet bar sinks (CEC article 210-8)

BRANCH CIRCUIT EXTENSIONS OR MODIFICATIONS - DWELLING UNITS

In any of the areas specified in 210.12(A), where branch circuit wiring is modified, replaced or extended, the branch circuit shall be protected by one of the following:
- A listed combination - type AFCI located at the origin of the Branch circuit
or
- A listed outlet branch-circuit type AFCI located at the first receptacle outlet of the existing branch circuit.

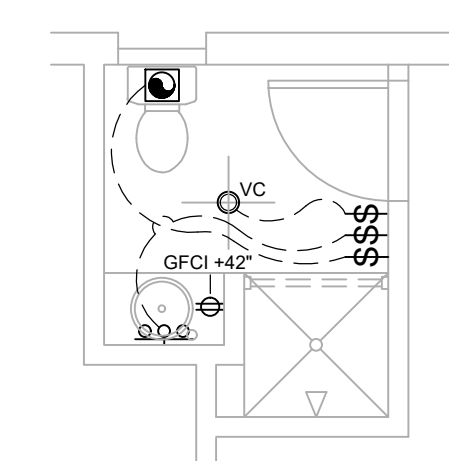
NEC 210.12 (D) Branch Circuit Extensions or Modifications — Dwelling Units and Dormitory Units. In any of the areas specified in 210.12(A) or (B), where branch-circuit wiring is modified, replaced, or extended, the branch circuit shall be protected by one of the following:
(1) A listed combination-type AFCI located at the origin of the branch circuit
(2) A listed outlet branch-circuit-type AFCI located at the first receptacle outlet of the existing branch circuit

Exception: AFCI protection shall not be required where the extension of the existing conductors is not more than 1.8 m (6 ft) and does not include any additional outlets or devices.

To address potential existing wiring system obstacles to providing some level of AFCI protection, the NEC provides the option of installing a combination-type device at the point where the branch circuit originates (as required for new branch-circuit installations) or of installing an outlet branch-circuit-type AFCI at the first receptacle outlet in the branch circuit.

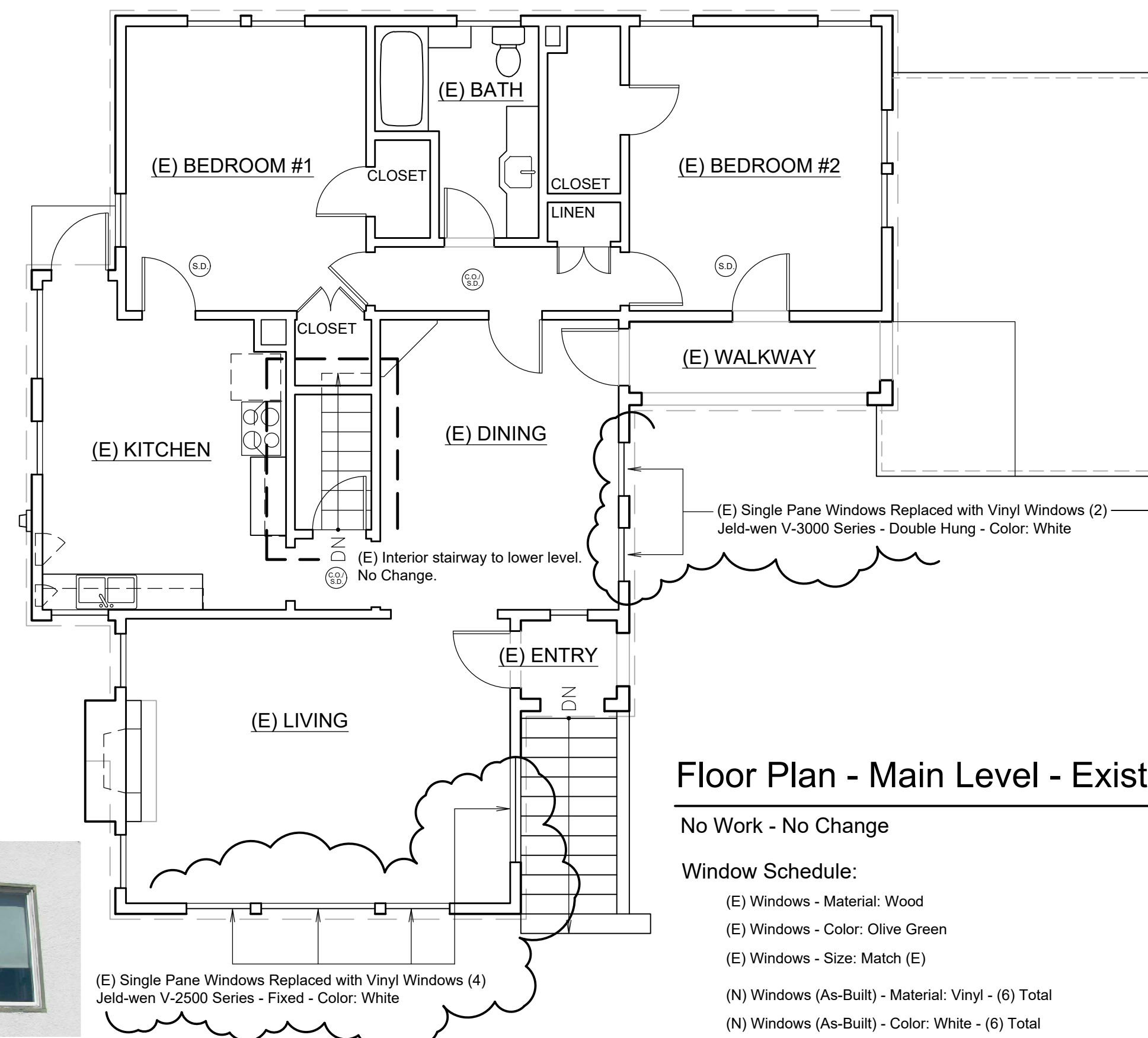
ELECTRICAL SYMBOL KEY

- ⊙ 4" 3000 Calvin - H4 LED, Housing H4 561 Cat I20D-1C Rated, Trim - Black Baffle w/ matte white trim or equal.
- VC Vacancy Sensor
- ⊕ Wall Mount Fluorescent
- ⊖ Single Pole Switch
- ⊕ 120V Duplex Receptacle - AFCI/Tamper Resistant
- S.D./C.O. Smoke Detector/Carbon Monoxide - ceiling mount.
- ⊙ Exhaust Vent in accordance with CBC Sec. 1203.4.2.1 CMC Sec. 403.7 and Tbl. 4.4 - 50 CFM min @ Bathrooms ducted to exterior of building. Controlled by readily accessible humidistat and shall be Energy Star compliant. Whisper Ceiling 80 CFM Ceiling Mounted Fan



Floor Plan - Basement Level - Proposed Electrical

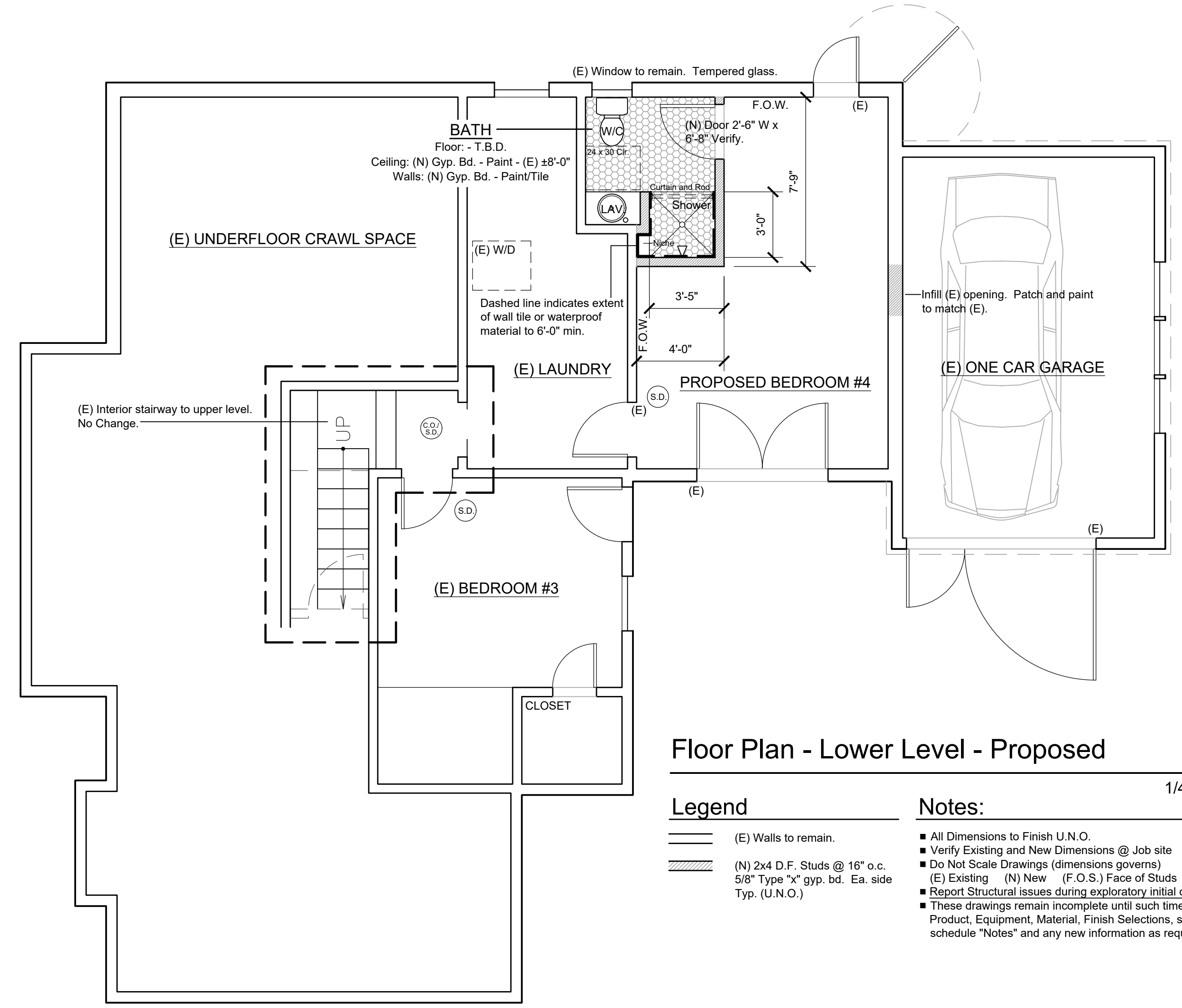
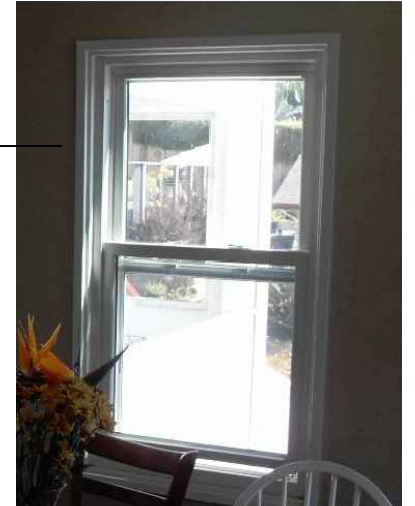
1/4" = 1'-0"



Floor Plan - Main Level - Existing

No Work - No Change 3/16" = 1'-0"

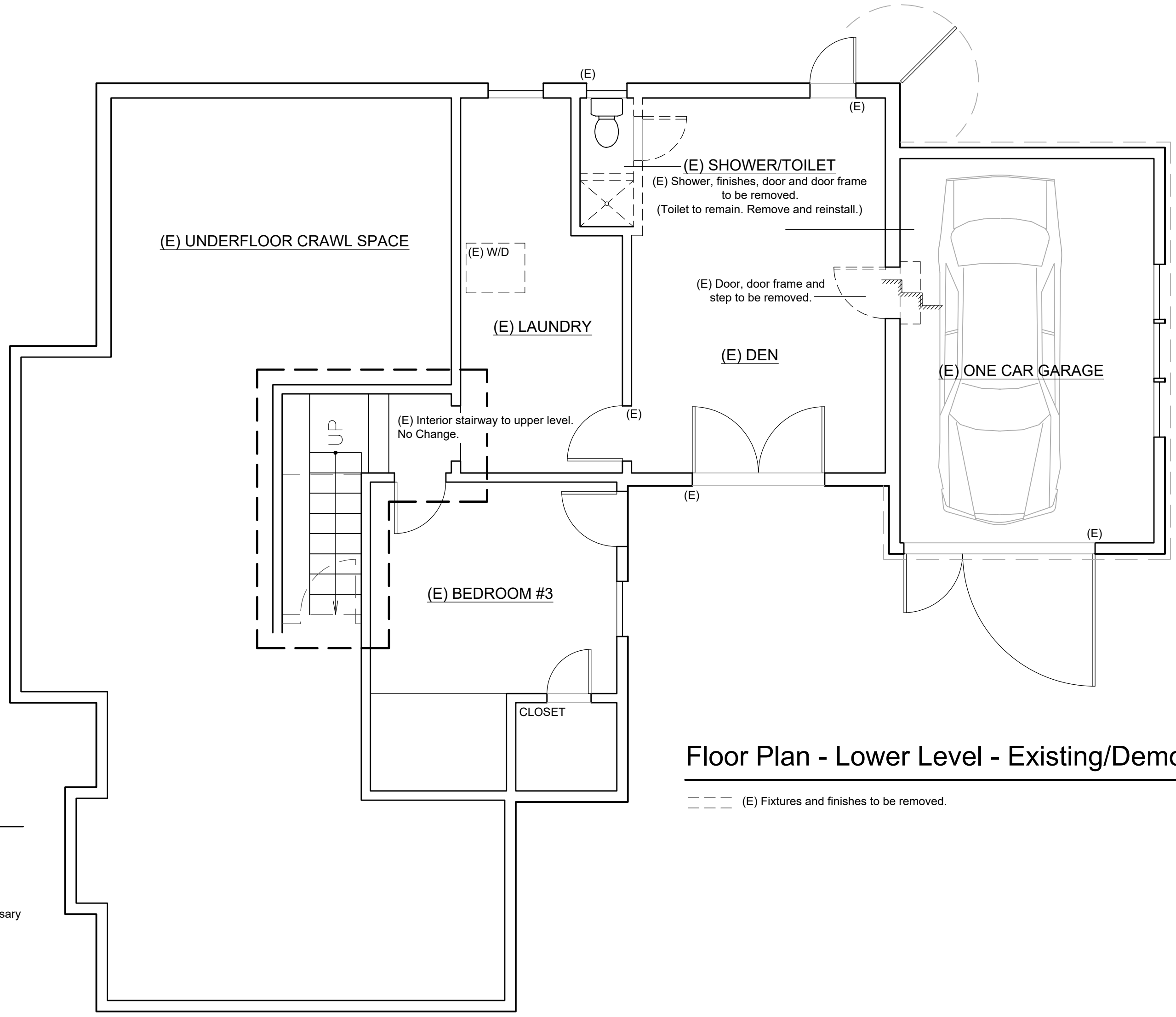
- Window Schedule:**
- (E) Windows - Material: Wood
 - (E) Windows - Color: Olive Green
 - (E) Windows - Size: Match (E)
 - (N) Windows (As-Built) - Material: Vinyl - (6) Total
 - (N) Windows (As-Built) - Color: White - (6) Total
 - (N) Windows (As-Built) - Size: Match (E) - (6) Total



Floor Plan - Lower Level - Proposed

1/4" = 1'-0"

- Legend**
- (E) Walls to remain.
 - (N) 2x4 D.F. Studs @ 16" o.c.
 - 5/8" Type "x" gyp. bd. Ea. side Typ. (U.N.O.)
- Notes:**
- All Dimensions to Finish U.N.O.
 - Verify Existing and New Dimensions @ Job site
 - Do Not Scale Drawings (dimensions govern)
 - (E) Existing (N) New (F.O.S.) Face of Studs
 - Report Structural issues during exploratory initial demolition.
 - These drawings remain incomplete until such time as Owner makes all necessary Product, Equipment, Material, Finish Selections, such as those noted on the schedule "Notes" and any new information as required by the Contractor.



Floor Plan - Lower Level - Existing/Demolition

1/4" = 1'-0"

- (E) Fixtures and finishes to be removed.

Revisions:	Date:

Owner:
Mary Ellen Broeffle
947 Carrillo Road
Santa Barbara, CA 93103
Tel.: 805-218-2938
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Permitting and Drafting:
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Contractor:
T.B.D

ABATEMENT OF ENFORCEMENT - ENF2016-01798

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Tel.: 805-218-2938
Email: ladepirana@aol.com

Date:	-
Scale:	As Noted
Job:	Broeffle
Sheet No.	

A1.2



FINAL APPROVAL CHECKLIST

SUPPLEMENTAL APPLICATION



GENERAL INFORMATION

WHAT IS FINAL APPROVAL?

Final approval is the last level of design review before applying for a Building Permit (BLD) application. Final approval generally occurs at a separate hearing, after project design approval, and includes a complete set of working drawings with all details, color samples, door hardware, and exterior lighting fixtures for review. Applicants may also request project design approval and final approval on the same hearing date, if sufficient details are provided.

HOW DOES THE PROCESS WORK?

Once a project receives project design approval, it shall constitute the substantive design approval of the project. If substantial changes to the plans are proposed after project design approval, a new project design approval will be required. Design review comments on final approval should only address whether the design substantially conforms to the project design approval, and comments on details and landscaping.

WHEN IS A COMPLETED CHECKLIST REQUIRED?

A completed **Final Approval Submittal Checklist** is required when you submit for final approval. To resubmit an application, upload documents, like plans and letters, into the record in the City's Accela Citizen Access Portal (ACA) system, along with the [Resubmittal Form](#). All forms must be completed, signed, and submitted as a PDF attachment to your electronic submittal.



FINAL APPROVAL CHECKLIST

Provide required details and sheet references with your submittal for final approval. Fill in the blank or indicate N/A if “not applicable”. Final approval does not permit the omission of any required information.

PROJECT ADDRESS: 947 Carrillo Road PLN RECORD ID: PLN2024-00075

ALL BUILDING ELEVATIONS

Sheet #

Sheet #

- | | | | |
|--|-----------------------------|---|-----------------------------|
| <input type="checkbox"/> Exterior Details | <u> </u> | <input type="checkbox"/> Paint or Stain Color (trim, etc.) | <u>A1.2</u> |
| <input type="checkbox"/> Exterior Finishes | <u> </u> | <input type="checkbox"/> Materials (roofing, plaster, etc.) | <u>A1.2</u> |
| <input type="checkbox"/> Parapet Heights | <u> </u> | <input type="checkbox"/> Exterior Lighting (incl. cut sheets) | <u> </u> |
| <input type="checkbox"/> Roof/Attic/Understory Vents | <u> </u> | <input type="checkbox"/> Specification Sheets, as applicable | <u> </u> |

CONSTRUCTION DETAILS

Sheet #

Sheet #

- | | | | |
|---|-----------------------------|--|-----------------------------|
| <input type="checkbox"/> Retaining Wall | <u> </u> | <input type="checkbox"/> Ironwork | <u> </u> |
| <input type="checkbox"/> Window/Door detail | <u>A1.2</u> | <input type="checkbox"/> Stairs | <u> </u> |
| <input type="checkbox"/> Roof Details (eaves) | <u> </u> | <input type="checkbox"/> Handrails | <u> </u> |
| <input type="checkbox"/> Decks | <u> </u> | <input type="checkbox"/> Skylights | <u> </u> |
| <input type="checkbox"/> Fences/Arbors/Trellis | <u> </u> | <input type="checkbox"/> Awnings | <u> </u> |
| <input type="checkbox"/> Trash/Recycling Enclosures | <u> </u> | <input type="checkbox"/> Gutters and Down Spouts | <u> </u> |

ELECTRICAL/MECHANICAL/PLUMBING EQUIPMENT

Sheet #

- | | |
|---|-----------------------------|
| <input type="checkbox"/> Transformer Vault | <u> </u> |
| <input type="checkbox"/> Utility Service Meter | <u> </u> |
| <input type="checkbox"/> Screening Elements | <u> </u> |
| <input type="checkbox"/> Generators/Electrical/Mechanical/HVAC (including cut sheets & dBA at property lines) | <u> </u> |
| <input type="checkbox"/> Fire Valves (Verify Fire Sprinkler Ordinance per SBMC §8.04 requirements) | <u> </u> |
| <input type="checkbox"/> Cross Connection Control Devices (backflow device) | <u> </u> |

CONSULTANT/ENGINEER SHEETS

Sheet #

Sheet #

- | | | | |
|-------------------------------------|-----------------------------|-------------------------------------|-----------------------------|
| <input type="checkbox"/> Electrical | <u> </u> | <input type="checkbox"/> Structural | <u> </u> |
| <input type="checkbox"/> Mechanical | <u> </u> | <input type="checkbox"/> Plumbing | <u> </u> |

ROOFTOP ARCHITECTURAL DETAILS

Sheet #

- HVAC Equipment (exhaust fans, condensing units, air conditioning units, etc.) _____
- Dimensions of equipment and screening _____
- Mission tile roofing installation specifications _____
- Specification Sheets, if applicable _____
- Parapet Height _____
- Screens _____
- Chimney Caps _____
- Flashing _____
- Gutters/ Scuppers _____
- Solar panel location or potential future solar panel installation (if applicable) _____
- High fire roof coverings, valleys, gutters _____

COLOR AND MATERIAL BOARDS

Sheet #

- Paint and Stain Color Names and Numbers _____
- Material Type, Brand and Inventory Number _____

LANDSCAPE PLAN

Sheet #

Sheet #

- | | |
|---|---|
| <input type="checkbox"/> Irrigation Plan _____ | <input type="checkbox"/> High Fire/Defensible Space _____ |
| <input type="checkbox"/> Plant Species/Number/Sizes _____ | <input type="checkbox"/> Water Conservation Standards _____ |
| <input type="checkbox"/> Planters, Pots, Furniture _____ | <input type="checkbox"/> Site Walls (materials and color) _____ |
| <input type="checkbox"/> Paving Materials _____ | <input type="checkbox"/> Backflow Device _____ |
| <input type="checkbox"/> Erosion Control Measures _____ | <input type="checkbox"/> Rooftop Garden/Landscaped Roof _____ |

Storm Water Management Program (SWMP)

Sheet #

- Location of filtration devices _____
- Cross-section details _____
- Drainage flow from all impervious areas _____
- Amounts of new, replaced, or removed impervious areas _____
- Hydrology/Storm Water Report _____